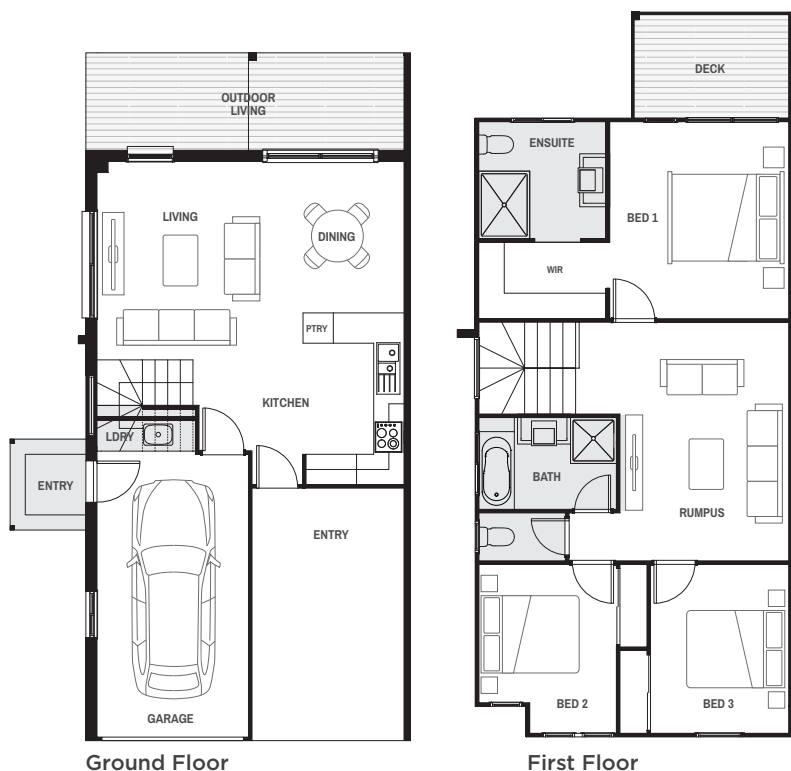


# QUATTRO

## Trailblazer Facade

### ADDRESS

Lot 166 Unit 3 Jennings Drive  
"Flagstone Estate" Flagstone QLD 4280



3 2 1

LAND PRICE	\$
HOUSE PRICE (INC. GST)	\$
TOTAL PACKAGE	\$ 349,900

### PACKAGE INCLUSIONS

- Split A/C to Living Area, Rumpus & Bed 1
- Stone to Kitchen Bench Top
- Fully Landscaped
- Colorbond Roofing
- Tiles to Alfresco
- Fans Throughout inc Bedrooms
- Energy Efficient
- T2 Blue Pine with 25 Year Warranty (Termite)

HOUSE AREA **168.00** sqm  
LAND AREA m<sup>2</sup>

**BRIGHTON**  
**BUILT**  
*let life in.*

Floor plan is based on the Trailblazer Facade. Floor plan will differ slightly based on the facade chosen (for example, window locations may differ with different facades). Image is for illustrative purposes and to be used as a guide only. Image may depict fixtures, finishes and features not supplied by Brighton or included in this package or it may show an example of what your package includes such as landscaping and driveway. Package Price current at time of printing and may change at any time without notice. Brighton Built ABN 83 150 533 378. QBCC 1250787.







- (1) Sewerage and/or septic to be in accordance with local by-laws and water & sewerage act Amendment Act.
- (2) Position of stormwater lines, downpipes, retaining walls, cut/fill embankments are approximate only and may vary to suit site conditions and the builder is to verify and adjust as required.
- (3) All cut/fill embankments, retaining walls shown and constructed are to comply with council policy & BCA housing provisions.
- (4) Stormwater pipes to be 90mm class 6 UPVC & laid in accordance with BCA housing provisions unless specified elsewhere. One 90mm UPVC pipe per 100 sqm of roof area laid to 1:100 min grade.
- (5) Pad cut to allow ground water to drain away from dwelling all round at 1:20 fall.
- (7) All boundary clearances and set out dimensions to be verified prior to commencement of work.

<b>AREAS</b>	
Site Area	1022m <sup>2</sup>
Building Area	343.91m <sup>2</sup>
Site Cover	33.6%

Meter Box	Water Tank
Hotwater system	Retaining Walls
Clothes Line	Fences - Gates
Letterbox	Driveway - Path

Contours and detail information shown is derived from supplied disclosure plans & may not be complete or accurately represent current site conditions. Builder must adjust site preparations in accordance with actual finished site levels and to ensure compliance with access driveway requirements

Client .....	Date .....
Client .....	Date .....
Builder .....	Date .....



## Site Plan

All Dimensions and Designs remain the property of Hayman Homes  
and are subject to the laws and protection of COPYRIGHT

Lot 166 New Road, Undullah

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, RezCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

REAL PROPERTY DESCRIPTION	
Lot	166
Registered Plan	SP --
Parish of	
County of	
Site Area	1022sqm

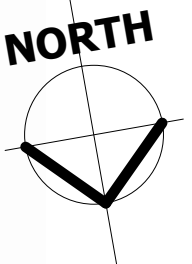
I	Working Drawing Amendments: RFI Request	5/06/17
H	Working Drawing Amendments	23/05/17
G	Working Drawing Amendments: RFI Request	18/05/17
F	Working Drawing Amendments: RFI Request	9/05/17
Rev	Revision Description	Date

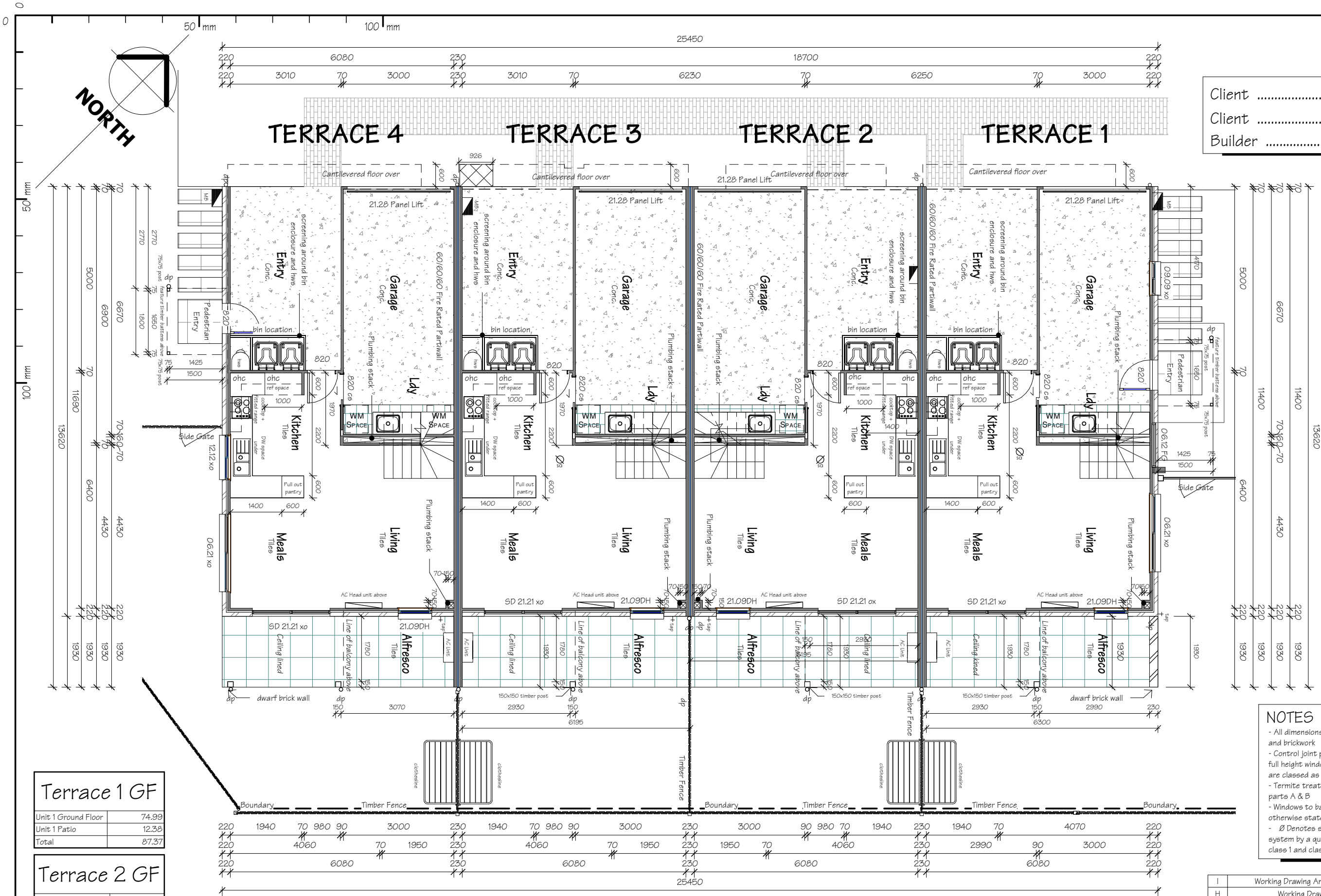
Terrace 1	
Unit 1 Deck	6.65
Unit 1 First Floor	75.53
Unit 1 Ground Floor	74.99
Unit 1 Patio	12.38
Grand total	169.55

Terrace 2	
Unit 2 Deck	6.65
Unit 2 First Floor	76.52
Unit 2 Ground Floor	73.76
Unit 2 Patio	12.18
Grand total	169.11

Terrace 3	
Unit 3 Deck	6.65
Unit 3 First Floor	75.40
Unit 3 Ground Floor	73.76
Unit 3 Patio	12.18
Grand total	167.99

Terrace 4	
Unit 4 Deck	6.65
Unit 4 First Floor	75.43
Unit 4 Ground Floor	74.99
Unit 4 Patio	12.38
Grand total	169.45





Client ..... Date .....

Client ..... Date .....

Builder ..... Date .....

- NOTES
- All dimensions shown on plan are to the timber frame and brickwork
  - Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
  - Termite treatment is in accordance with AS 3660.0 parts A & B
  - Windows to bath, ens & WC are clear glass unless otherwise stated.
  - Ø Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with NCC class 1 and class 10 parts 3.7.2 to AS 3786

Terrace 1 GF	
Unit 1 Ground Floor	74.99
Unit 1 Patio	12.38
Total	87.37

Terrace 2 GF	
Unit 2 Ground Floor	73.76
Unit 2 Patio	12.18
Total	85.94

Terrace 3 GF	
Unit 3 Ground Floor	73.76
Unit 3 Patio	12.18
Total	85.94

Terrace 4 GF	
Unit 4 Ground Floor	74.99
Unit 4 Patio	12.38
Total	87.37

I	Working Drawing Amendments: RFI Request	5/06/17
H	Working Drawing Amendments	23/05/17
G	Working Drawing Amendments: RFI Request	18/05/17
F	Working Drawing Amendments: RFI Request	9/05/17
Rev	Revision Description	Date



DRAWING NAME  
Ground Floor

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CLIENT  
Hayman Homes

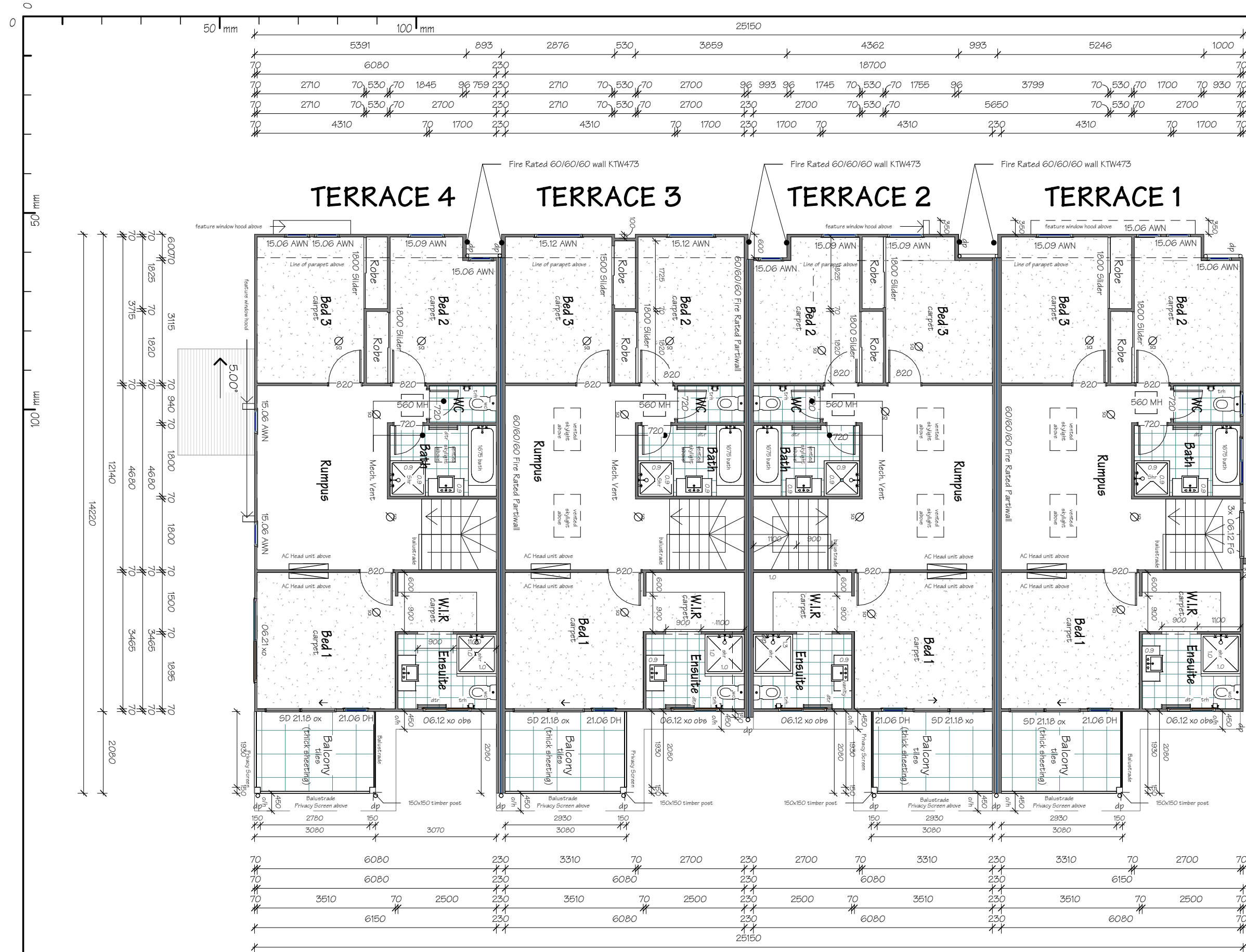
SITE ADDRESS  
Lot 166 New Road, Undullah

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

REAL PROPERTY DESCRIPTION		WIND	SCALE
Lot	166	N2	1:100 @ A3
Registered Plan	SP --	LICENCE	DATE
Parish of		1153526	2/08/16
County of		JOB No.	SHEET No.
Site Area	1022sqm	1683920	05 of 14

5/06/2017 8:08:57 AM





**NOTES**

- All dimensions shown on plan are to the timber frame and brickwork
- Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
- Termite treatment is in accordance with AS 3660.0 parts A & B
- Windows to bath, ens & WC are clear glass unless otherwise stated.
- Ø Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with NCC class 1 and class 10 parts 3.7.2 to AS 3786

Terrace 1 FF	
Unit 1 Deck	6.65
Unit 1 First Floor	75.53
Grand total	82.18

Terrace 2 FF	
Unit 2 Deck	6.65
Unit 2 First Floor	76.52
Total	83.17

Terrace 3 FF	
Unit 3 Deck	6.65
Unit 3 First Floor	75.40
Total	82.05

Terrace 4 FF	
Unit 4 Deck	6.65
Unit 4 First Floor	75.43
Total	82.08

**NOTE:**

All windows in rooms with a finished floor level over 2000mm above external ground; that have openings below 1700mm must be protected with fall prevention device or restricted to a max. opening of 125mm as per NCC requirements.

Rev	Revision Description	Date
I	Working Drawing Amendments: RFI Request	5/06/17
H	Working Drawing Amendments	23/05/17
G	Working Drawing Amendments: RFI Request	18/05/17
F	Working Drawing Amendments: RFI Request	9/05/17

Client ..... Date .....  
Client ..... Date .....  
Builder ..... Date .....



**DRAWING NAME**

First Floor

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**CLIENT**

Hayman Homes

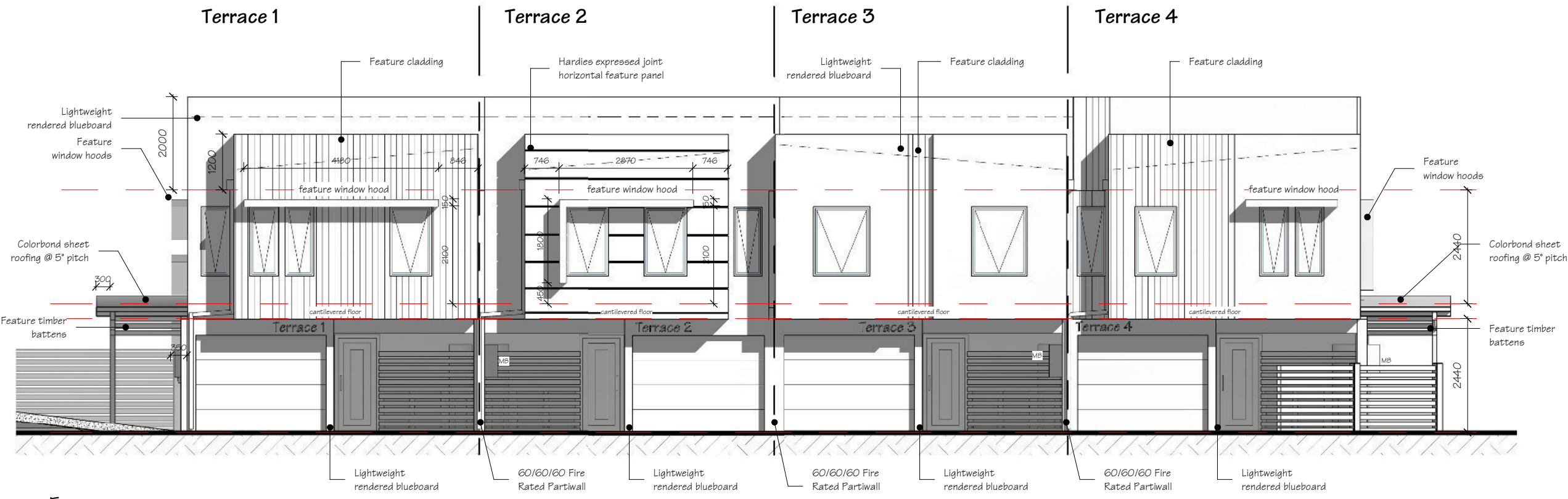
**SITE ADDRESS**

Lot 166 New Road, Undullah

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

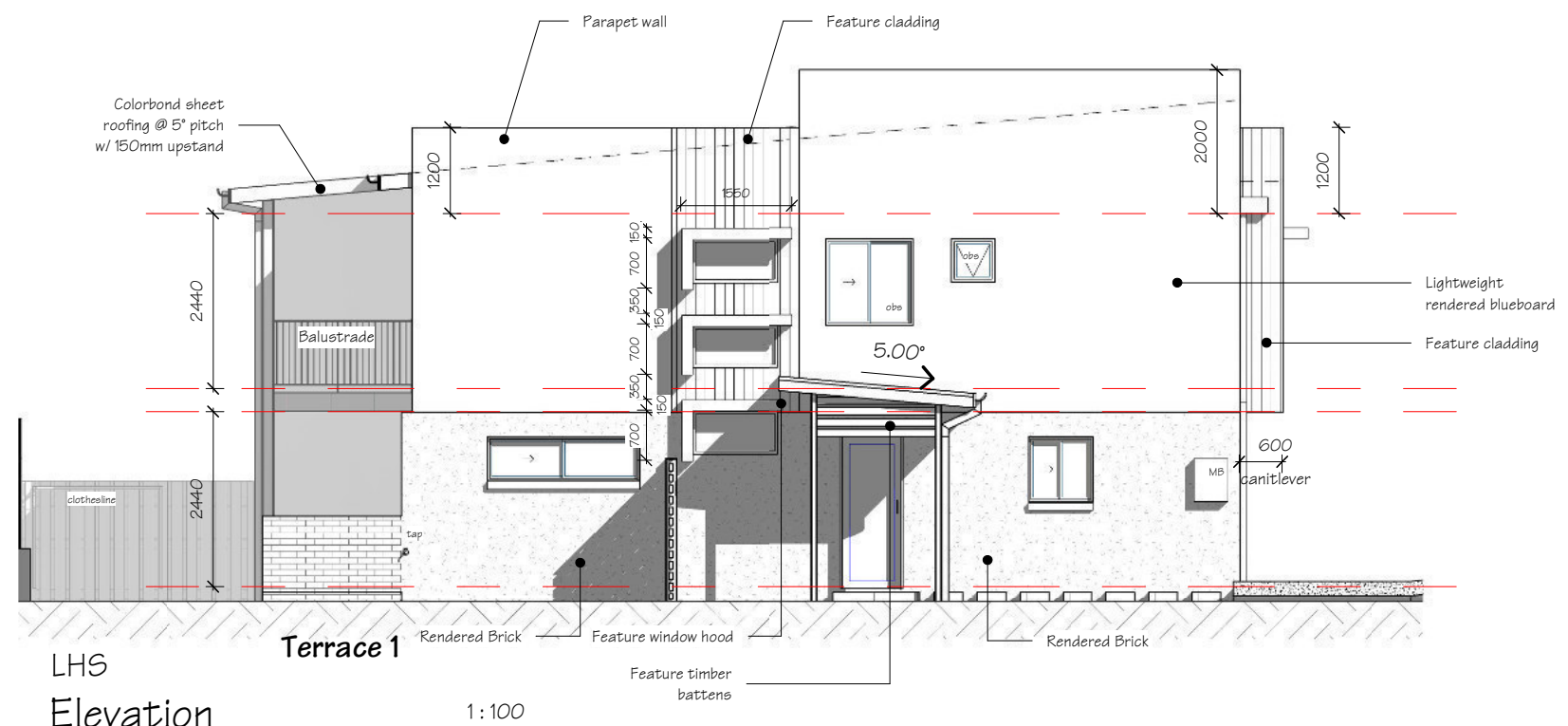
REAL PROPERTY DESCRIPTION		WIND	SCALE
Lot	166	N2	1:100 @ A3
Registered Plan	SP --	LICENCE	DATE
Parish of		1153526	2/08/16
County of		JOB No.	SHEET No.
Site Area	1022sqm	1683920	06 of 14

5/06/2017 8:08:38 AM



Front  
Elevation

1:100



LHS  
Elevation

1:100

**NOTE:**  
All windows in rooms with a finished floor level over 2000mm above external ground; that have openings below 1700mm must be protected with fall prevention device or restricted to a max. opening of 125mm as per NCC requirements.

Client .....	Date .....
Client .....	Date .....
Builder .....	Date .....



**DRAWING NAME**  
Elevations 1 of 2

**CLIENT**  
Hayman Homes

**SITE ADDRESS**  
Lot 166 New Road, Undullah

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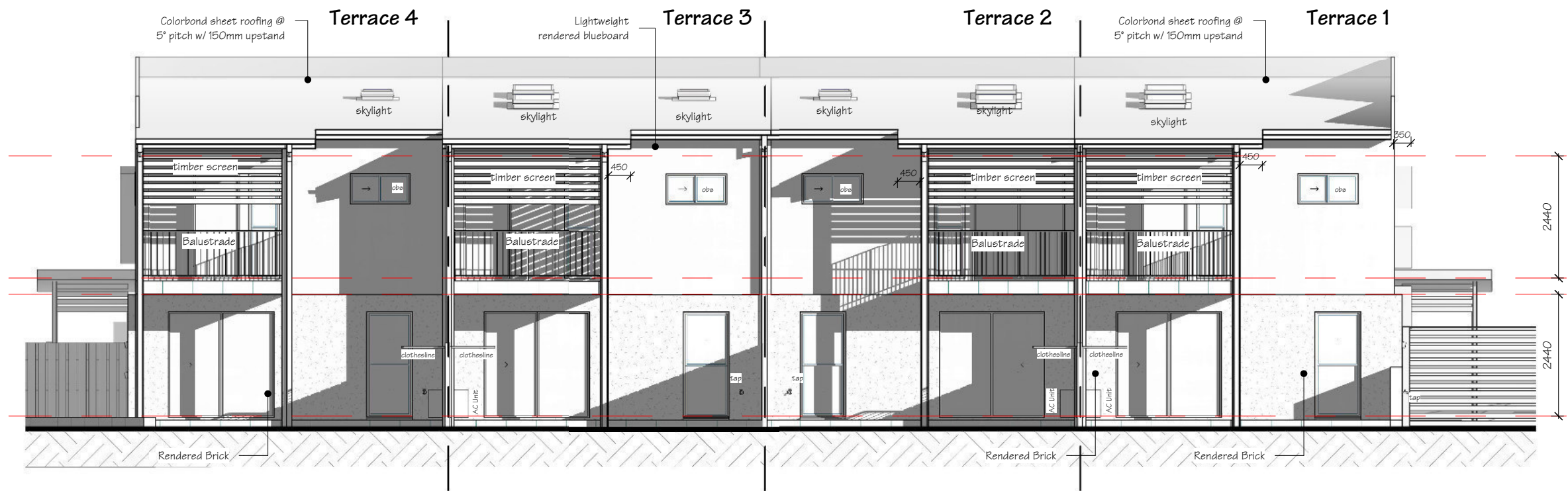
**REAL PROPERTY DESCRIPTION**  
Lot 166  
Registered Plan  
Parish of  
County of  
Site Area 1022sqm

Rev	Revision Description	Date
I	Working Drawing Amendments: RFI Request	5/06/17
H	Working Drawing Amendments	23/05/17
G	Working Drawing Amendments: RFI Request	18/05/17
F	Working Drawing Amendments: RFI Request	9/05/17

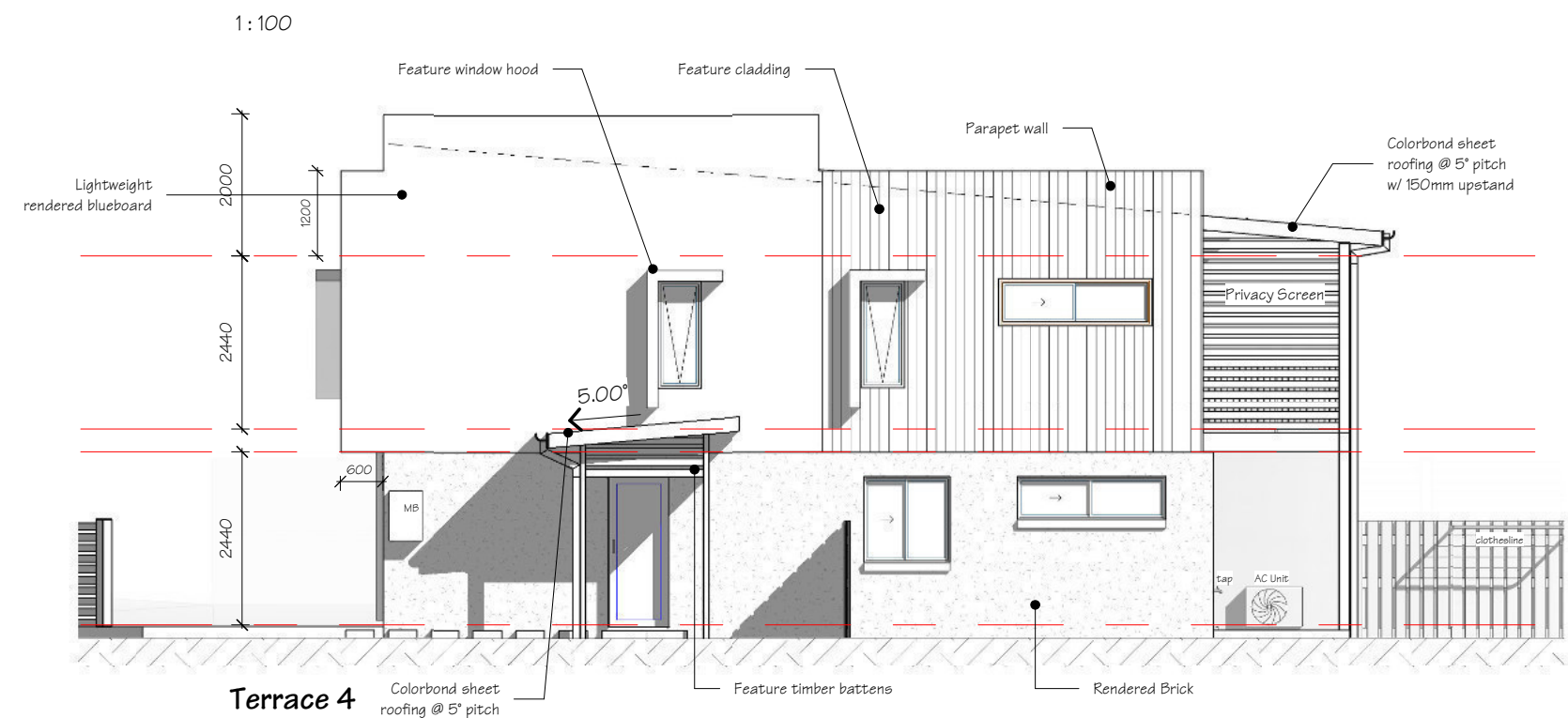
<b>WIND</b> N2	<b>SCALE</b> 1:100 @ A3
<b>LICENCE</b> 1153526	<b>DATE</b> 2/08/16
<b>JOB No.</b> 1683920	<b>SHEET No.</b> 07 of 14

5/06/2017 8:08:50 AM





Rear  
Elevation



RHS  
Elevation

**NOTE:**  
All windows in rooms with a finished floor level over 2000mm above external ground; that have openings below 1700mm must be protected with fall prevention device or restricted to a max. opening of 125mm as per NCC requirements.

Client ..... Date .....  
Client ..... Date .....  
Builder ..... Date .....



**DRAWING NAME**  
Elevations 2 of 2  
  
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**CLIENT** Hayman Homes  
**SITE ADDRESS** Lot 166 New Road, Undullah  
  
Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and work cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

**REAL PROPERTY DESCRIPTION**  
Lot 166  
Registered Plan SP --  
Parish of  
County of  
Site Area 1022sqm

Rev	Revision Description	Date
I	Working Drawing Amendments: RFI Request	5/06/17
H	Working Drawing Amendments	23/05/17
G	Working Drawing Amendments: RFI Request	18/05/17
F	Working Drawing Amendments: RFI Request	9/05/17

WIND	SCALE
N2	1:100 @ A3
LICENCE	DATE
1153526	2/08/16
JOB No.	SHEET No.
1683920	08 of 14

# EXTERNAL COLOUR PALETTE



LIGHTWEIGHT RENDERED BLUEBOARD  
Shale Grey (CB 21)



ROOF, GUTTER & FASCIA  
Surfmist



BALUSTRADE, GARAGE DOOR & WINDOWS  
Monument



TIMBER SCREENS, BATTERNS & POSTS,  
WINDOW HOODS & RENDERED BRICKWORK  
Wallaby (CB73)



VERTICAL FEATURE CLADDING  
Taubmans Sharkfin T12 9.F9



ENTRY DOORS, LIGHTWEIGHT RENDERED  
BLUEBOARD POP OUTS & HARDIES  
EXPRESSED HORIZONTAL CLADDING  
Surfmist (CB 23)



Lot 166 New Road, Undullah



External Colour Photo



ENVIRONMENTAL RESERVE

FUTURE DEVELOPMENT











FIRST 5YRS 700 LOTS

DISPLAY VILLAGE

FUTURE PASSENGER  
TRAIN STATION

FUTURE DEVELOPMENT

#### LEGEND

-  CBD
-  CBD FRAME
-  EMPLOYMENT
-  VILLAGE CENTRE
-  RESIDENTIAL NEIGHBOURHOOD
-  DISTRICT AND REGIONAL SPORT AND RECREATION
-  EDUCATION
-  NORTH-SOUTH ARTERIAL
-  VILLAGE CONNECTOR ROADS
-  FLAGSTONE TRANSIT HUB

CBD INC. PROPOSED FUTURE  
UNIVERSITY HOSPITAL

PEET



## Greater Flagstone Priority Development Area

- 7,188 hectares
- 120,000 people
- 50,000 new homes
- 30,000 local jobs

## Peet Flagstone City

- 12,000 new homes
- 126 hectare CBD
- 10,000 jobs
- 330 hectares of open space
- Estimated population 30,000 (by 2045)
- Planned passenger train station
- 45 mins to Brisbane CBD
- 25 mins to Logan City

Proposed residential

Future residential

Train line

Local shopping and school

Mixed industry and business

Sports fields

Local shopping and school

Stage 1

Major shopping

Regional park

School

Train line

Future train station

Proposed residential



Flagstone State Community College & Flagstone State School



A thriving new 126 hectare CBD and employment centre in the making, which will bring together retail, commercial, health care and new job opportunities.



12th September 2017

Hayman Homes

To whom it may concern,

**RE: Unit 1- Lot 166 Jennings Undullah- Flagstone Estate  
Brand New 3 Bedroom Home**

---

Thank you for the opportunity to provide an estimated rental capacity for the above mentioned property.

The property is described as featuring:

- 3 Bedrooms, all with Built-In Wardrobes
- 2 Bathrooms, Master bedroom with Ensuite
- Open plan, tiled living area
- Split System Air-Conditioning
- Fenced, Landscaped Yard
- Automatic Single Garage
- Modern kitchen with Quality Stainless Steel Appliances
- Outdoor alfresco area

I confirm that the estimated rental capacity of approximately \$340.00-\$360.00 per week is achievable in the current rental market, based on rents that have been achieved in the surrounding area recently.

Please note, this should not be considered as a guaranteed rental capacity, rather an estimation based on our expert opinion of today's rental market.

Should you have any questions or if I could be of any further assistance, please don't hesitate to contact me by telephone 5564 3200 or email [a.bowes@oliverhume.com.au](mailto:a.bowes@oliverhume.com.au)

Yours Faithfully,



**Amanda Bowes**  
**Manager – Property Manager**  
**Oliver Hume Queensland Property Management**

## Brisbane

Ground Floor, 26 Reddacliff Street  
Gasworks Precinct Newstead Queensland 4006  
**M**ail PO Box 1447, Broadbeach QLD 4218  
**T** 07 3216 1666  
**F** 07 3216 1555  
**E** [queensland@oliverhume.com.au](mailto:queensland@oliverhume.com.au)

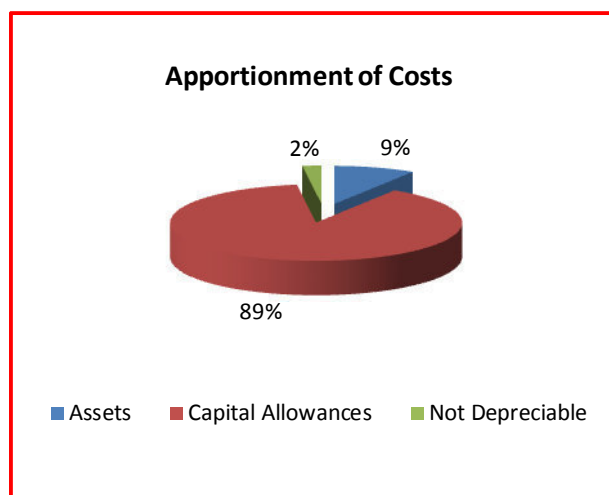
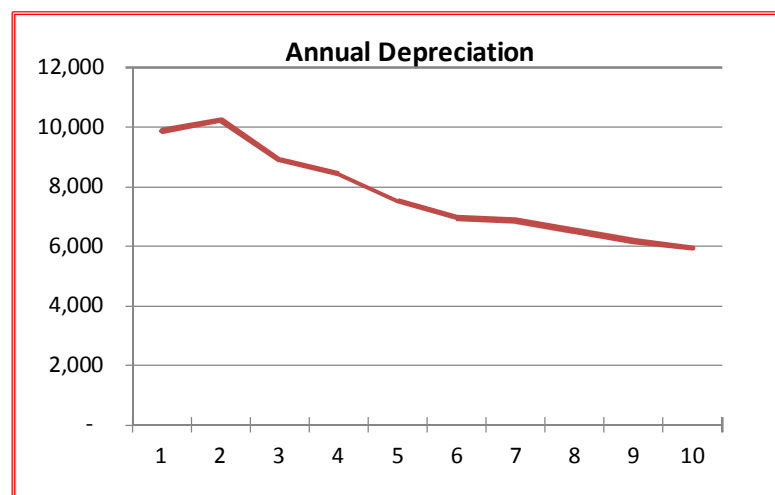
## Gold Coast

Suite 325, Level 3 Oracle South Building  
17 Elizabeth Avenue, Broadbeach QLD 4218  
**M**ail PO Box 1447, Broadbeach QLD 4218  
**T** 07 5564 3200  
**www.oliverhume.com.au**  
**ABN** 66 18 624 867



Indicative Tax Depreciation and Capital Allowances Schedule for  
Brighton Built Typical 3 Bed Townhouse at Lot 166 Jennings Drive, Flagstone

Year	Depreciable Assets	Capital Allowances	Total Depreciation Allowance
	\$	\$	\$
1 (365 Days)	4,350	5,540	9,890
2	4,700	5,540	10,240
3	3,350	5,540	8,890
4	2,850	5,540	8,390
5	1,975	5,540	7,515
6	1,400	5,540	6,940
7	1,325	5,540	6,865
8	1,000	5,540	6,540
9	625	5,540	6,165
10	400	5,540	5,940
Balance Yrs 11-41	600	166,200	166,800
<b>TOTAL</b>	<b>\$ 22,575.00</b>	<b>\$ 221,600.00</b>	<b>\$ 244,175.00</b>



**Notes:**

This Schedule is based on an Estimated Construction Cost of **\$249,475** and the assumption that the first year will comprise 365 days\*.

**This Preliminary Tax Depreciation Schedule is intended to be an indicative representation of the allowances expected on the completion of the above property and is provided for the purposes of Sales and Marketing only. This Schedule has been prepared based on preliminary documentation provided to us and our own indicative calculations and as such is not suitable for the preparation of income tax returns to the Australian Taxation Office.**

This Schedule has been prepared in accordance with the current Australian tax provisions and is exclusive of any future amendments thereto beyond the date of this assessment.

Please contact **Redline Quantity Surveyors Pty Ltd on 1300 732 667** to arrange for the completion of a detailed Tax Depreciation Schedule suitable for your individual Income Tax requirements.

**\*Adjustment to first year figures based on period of ownership is required prior to cashflow forecasts.**